



## For Sale

An exciting and increasingly rare opportunity to acquire a significant residential development site on the western fringe of the sought after North Leeds village of Bramhope, surrounded by greenbelt countryside and with detailed planning permission granted to create 5 individual dwellings in a delightful semi rural setting.

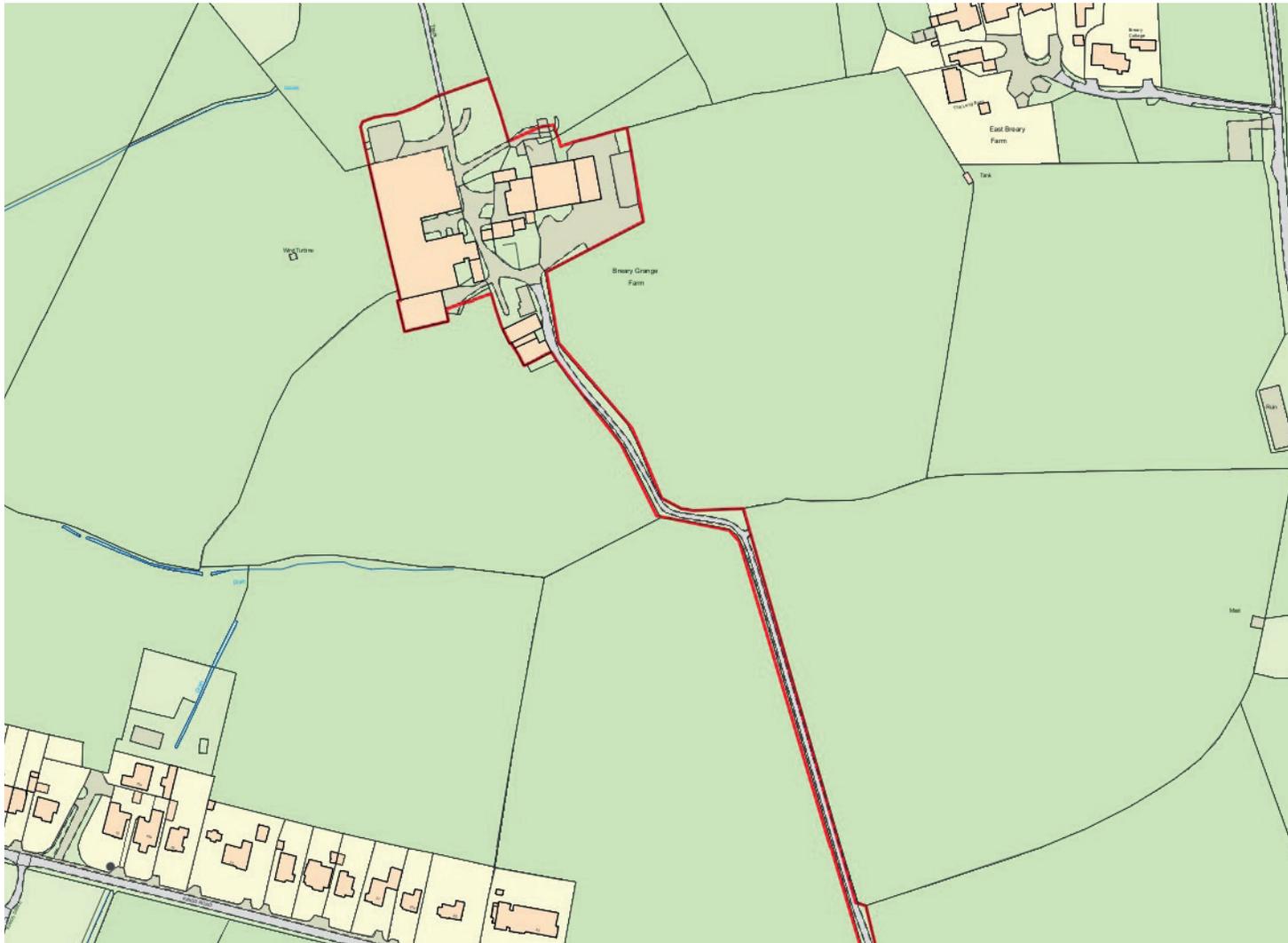
**Offers in excess of £1.5 million**

Breary Grange Farm, Kings Road, Bramhope, LS16 9JN

**Carter Jonas**

## Location Plan

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# Proposed Site Plan



# Proposed Visuals



BREARY GRANGE FARM, LEEDS  
AERIAL VIEW



BREARY GRANGE FARM, LEEDS  
VIEW TOWARDS PLOT 1



BREARY GRANGE FARM, LEEDS  
VIEW TOWARDS PLOT 5 FROM PLOT 4



BREARY GRANGE FARM, LEEDS  
VIEW TOWARDS PLOT 5 FROM PLOT 3



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## General Comments

Development opportunities of this nature are few and far between.

The sale of Breary Grange Farm with the benefit of detailed planning permission is one of an increasingly rare opportunity to create 5 private residences in what will be a charming enclave of individual houses in open countryside, yet only some 7 miles from Leeds city centre. Four of the proposed dwellings are conversions of existing traditional stone barns, the fifth being a complete new build in contrast.

## Location

Breary Grange Farm occupies a peaceful and secluded position just outside of and to the east of Bramhope, a popular North Leeds suburb. The highly regarded village of Bramhope provides a good range of everyday facilities including a variety of shops, a village school and a selection of recreational amenities to suit all age groups. The highly regarded Golden Acre Park is quite literally on the doorstep and well known for its lakeside walks, wonderful gardens and tea rooms. For the commuter, Leeds city centre is approximately 7 miles to the south east, Bradford 10 miles to the south west and Harrogate 12 miles to the north east. There is easy access to both the M1 and A1 motorways and Leeds / Bradford International Airport is within 15 minutes' drive.

## Plans, Elevations and CGI's

Please note that these are indicative proposals of the finished product and are therefore for identification purposes only.

## Planning

Full planning permission was granted by Leeds City Council on the 14 December 2022, application number 22/02741/FU for demolition of agricultural buildings and change of use of four agricultural buildings to form four dwellings, one replacement dwelling and associated landscaping works. A copy of the full decision notice together with associated plans and elevations are attached to these sale particulars for identification purposes only. Furthermore, a complete set of documents are also available on the Leeds City Council planning web portal -

<https://publicaccess.leeds.gov.uk/online-applications/>.

This rare opportunity allows the successful purchaser to create 5 individual houses and in brief these will comprise:

**Plot 1:** 205.2 sq m / 2,208.8 sq ft including double garage  
4 bedroom detached house

**Plot 2:** 150 sq m / 1,615 sq ft including single garage  
3 bedroom semi detached house

**Plot 3:** 121.7 sq m / 1,310 sq ft including single garage  
2 bedroom semi detached house

**Plot 4:** 214.3 sq m / 2,306.7 sq ft including double garage  
4 bedroom detached house

**Plot 5:** 273 sq m / 2,939.6 sq ft including double garage  
5 bedroom detached house

**Total floor area:** 964.4 sq m / 10,380.7 sq ft

All five units will have their own formal garden space sharing an overall site area of some 2.15 hectares (5.31 acres) together with generous additional pasture land which could be allocated to the appropriate adjoining units.

## Additional Information

The access from Kings Road to Breary Grange Farm will become a private driveway for the use of the 5 dwellings. The ownership of the same will be included in the sale of the overall site. However, our clients will reserve access into their retained land to the east and west of the driveway via a new gateway and existing gateways some 70m in from Kings Road. Maintenance of the driveway in its entirety will become the responsibility of the purchaser (or owners of the completed development).

The purchaser of the site and the subsequent owners of the dwellings will be responsible for the maintenance of all boundaries to the retained land. The current owners will retain a right to cross the access track at or around the midway point perpendicularly.

## Tenure

Freehold with vacant possession given on legal completion.

## Viewing

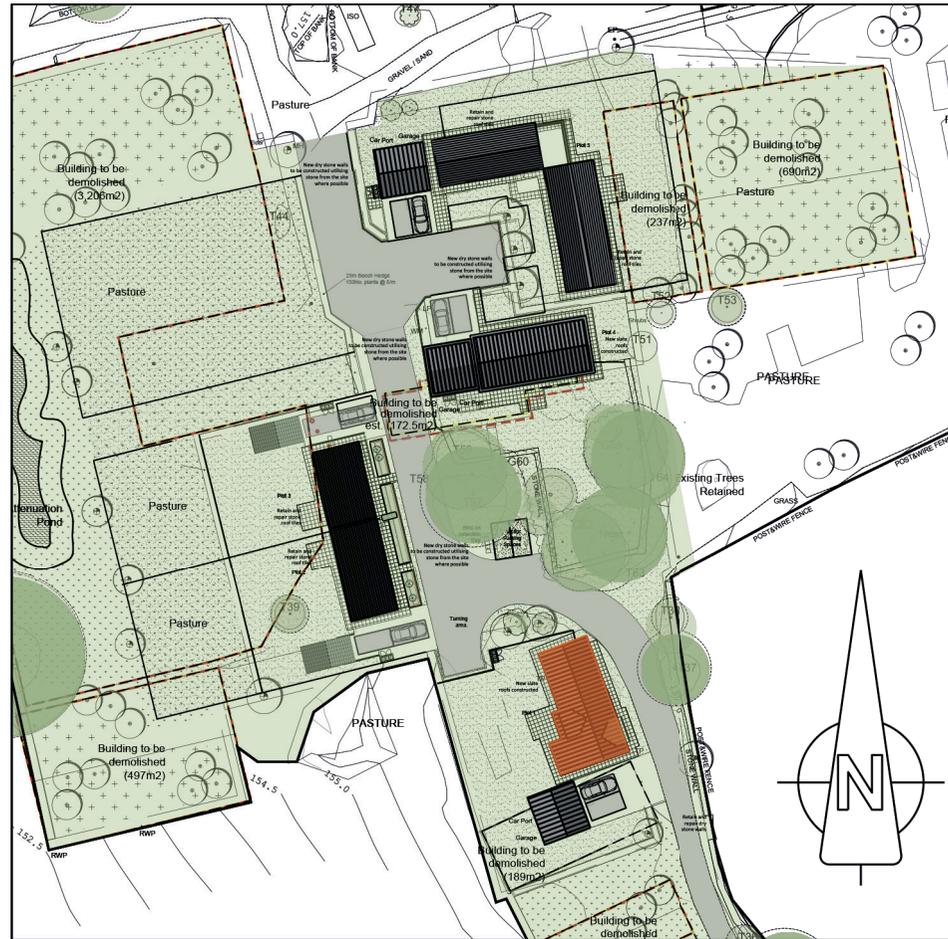
To be arranged strictly through Carter Jonas - 01423 523423. Please call to make arrangements.

## Directions

Postcode - **LS16 9JN**

Travelling north out of Leeds passing over the outer ring road A6120, continue north along Otley Road which after some 3 miles leads into Bramhope village. Having passed Golden Acre Park on the outskirts of Bramhope, at the first roundabout take the third exit onto Kings Road. Continue up the hill for approximately ¼ of a mile and just before reaching the T-junction with Arthington Road the access to Breary Grange Farm is on the left hand side.

# Plot 1 - Location



## Plot 1 - Elevation

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### Proposed Finishes

#### Walls

- Existing natural stone

#### Roof

- Slate tiles
- Black bargeboards fascias and soffits
- Slate tiles

#### Windows and Doors

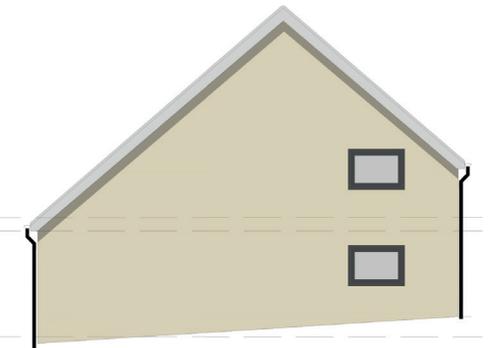
- Double glazed windows and doors (grey) with existing stone cills and heads
- Pressed metal surround to feature window

#### Gutters and Downpipes

- Black uPVC gutters with black downpipes



Rear Elevation - South West Facing 1:100



Side Elevation - South East Facing 1:100



Front Elevation - North West Facing 1:100

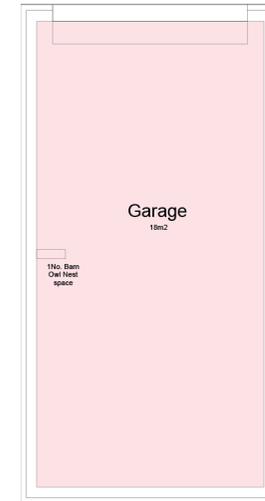
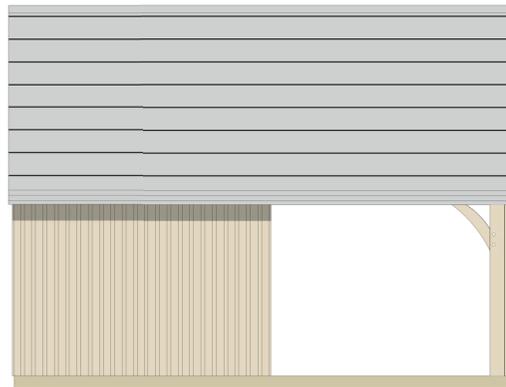
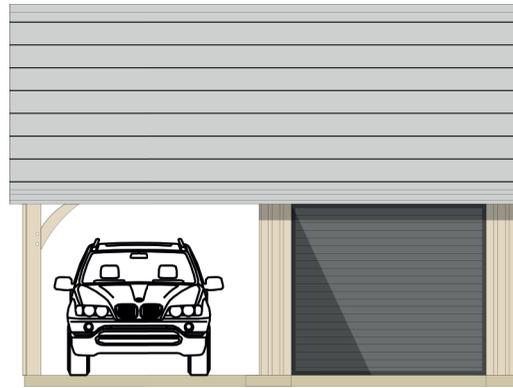
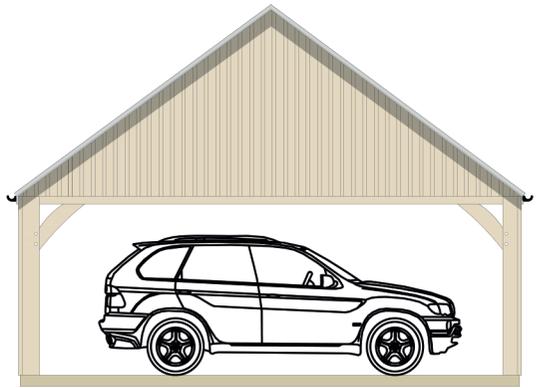


Side Elevation - South West Facing 1:100

FPL Levels - subject to structural engineer input

# Plot 1 - Plans

## Garage

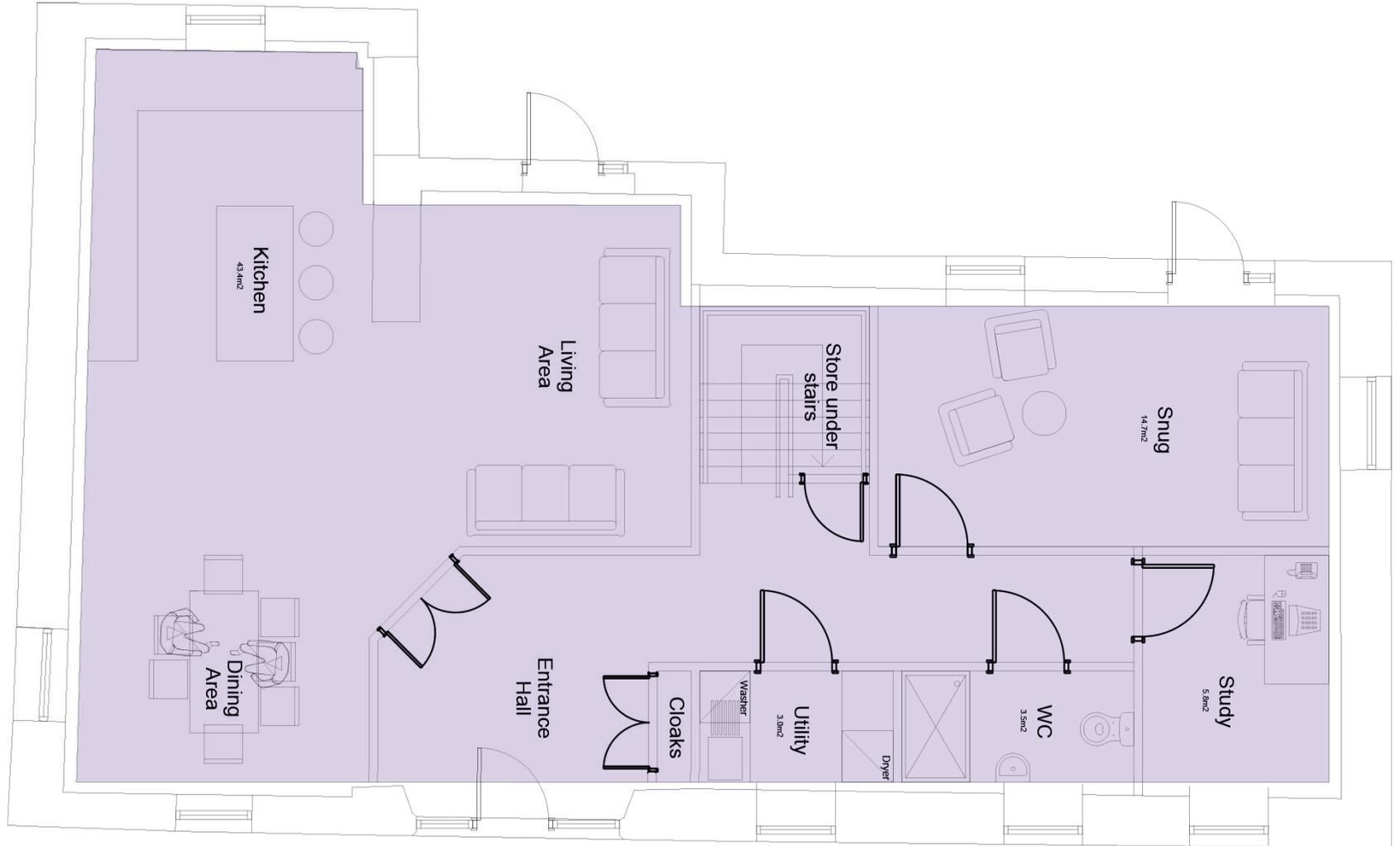


## Plot 1 - Plans

Ground Floor

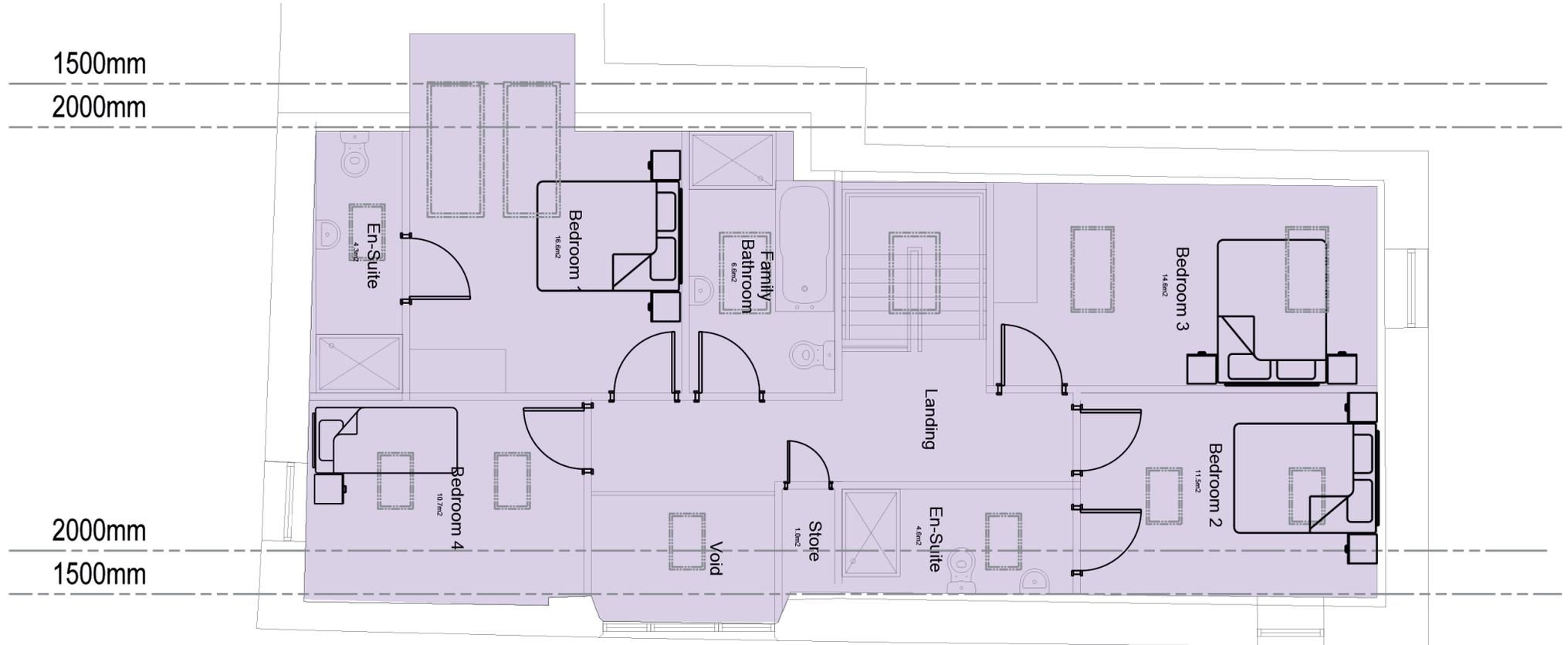
187.2 m<sup>2</sup>

205.2 m<sup>2</sup> including garage



# Plot 1 - Plans

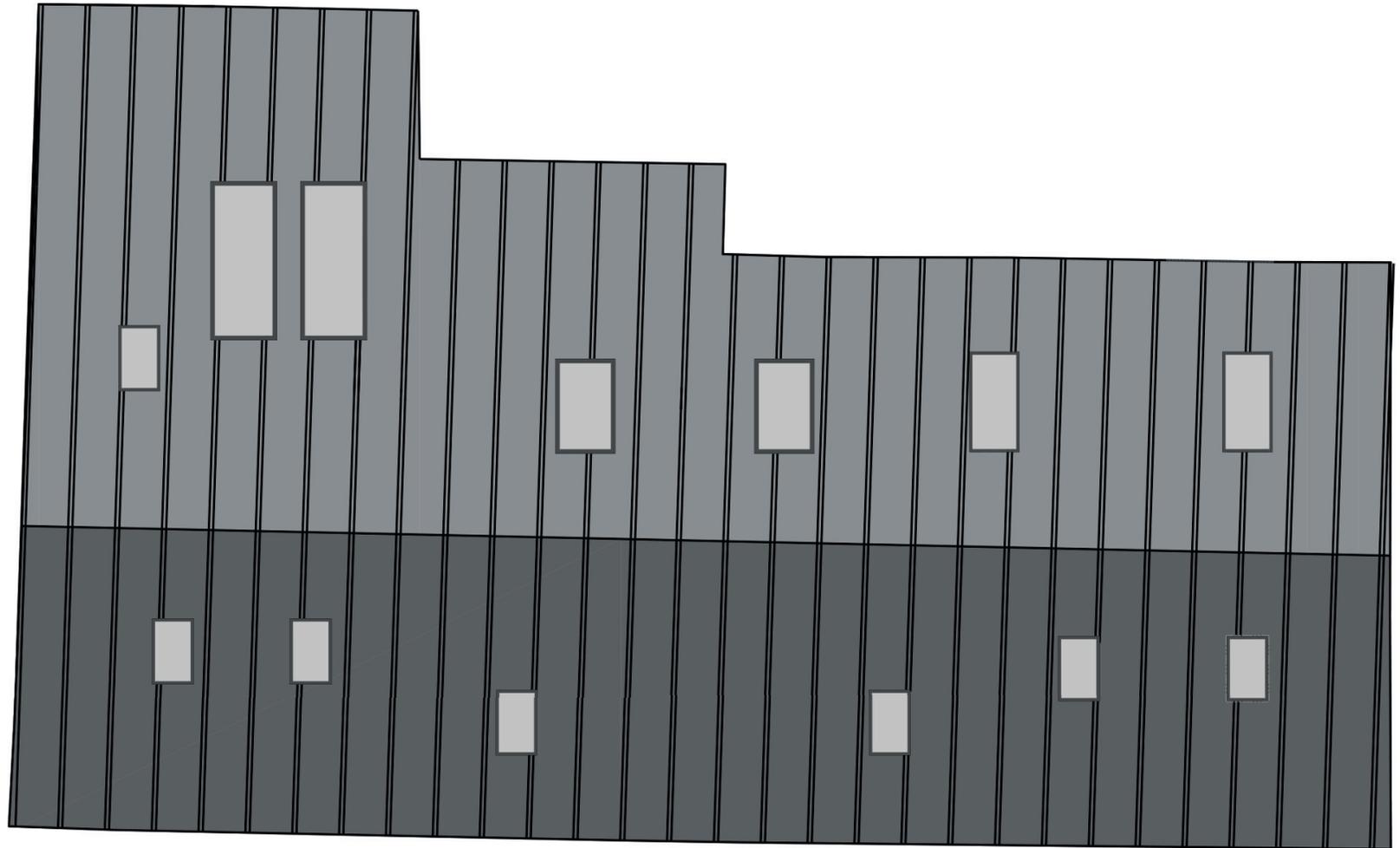
First Floor



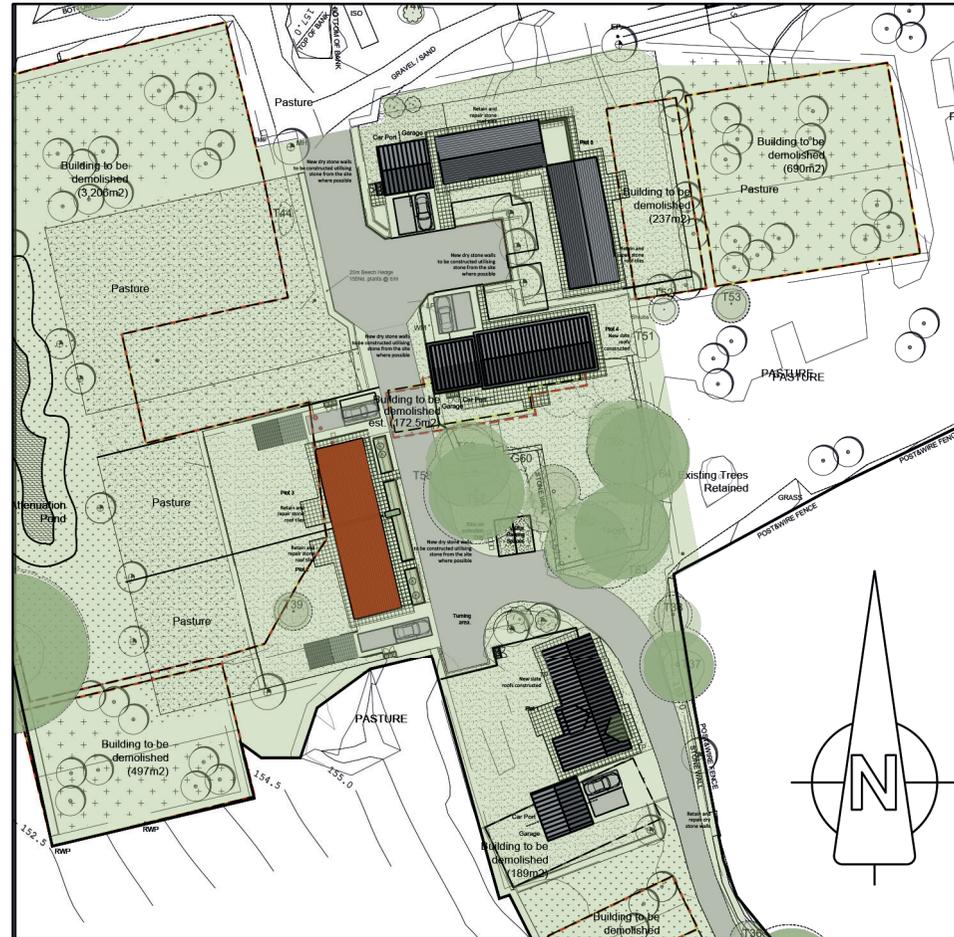
## Plot 1 - Plans

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Roof



## Plot 2 & 3 - Location



## Plot 2 & 3 - Elevation

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### Proposed Finishes

#### Walls

- Existing natural stone
- Natural timber

#### Roof

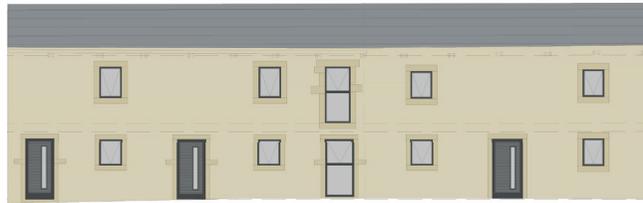
- Slate tiles
- Black bargeboards fascias and soffits
- Slate tiles

#### Windows and Doors

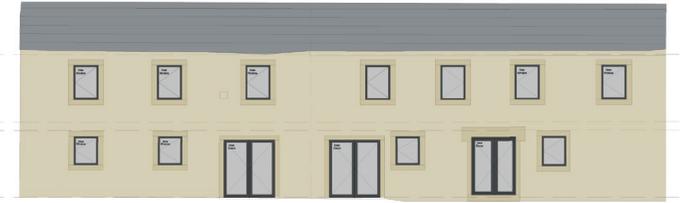
- Double glazed windows and doors (grey) with existing stone cills and heads

#### Gutters and Downpipes

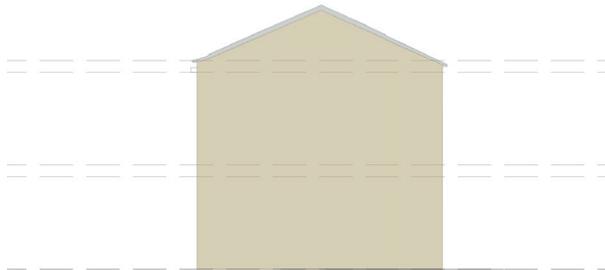
- Black uPVC gutters with black downpipes



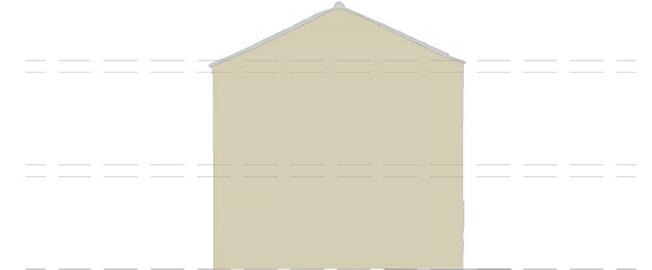
Front Elevation - North East Facing 1:100



Rear Elevation - South West Facing 1:100



Side Elevation - North West Facing 1:100



Side Elevation - South East Facing 1:100

FPL Levels - subject to structural engineer input

## Plot 2 & 3 - Plans

Ground Floor

Plot 2

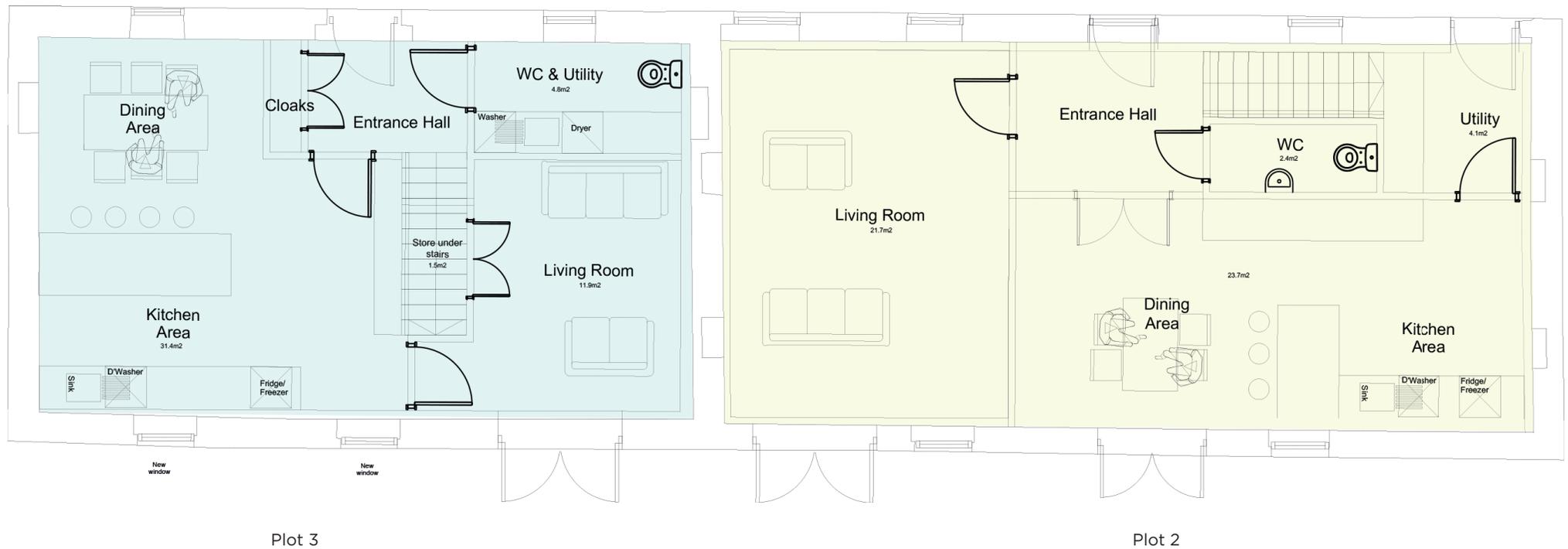
132.1 m<sup>2</sup>

150.1 m<sup>2</sup> including garage

Plot 3

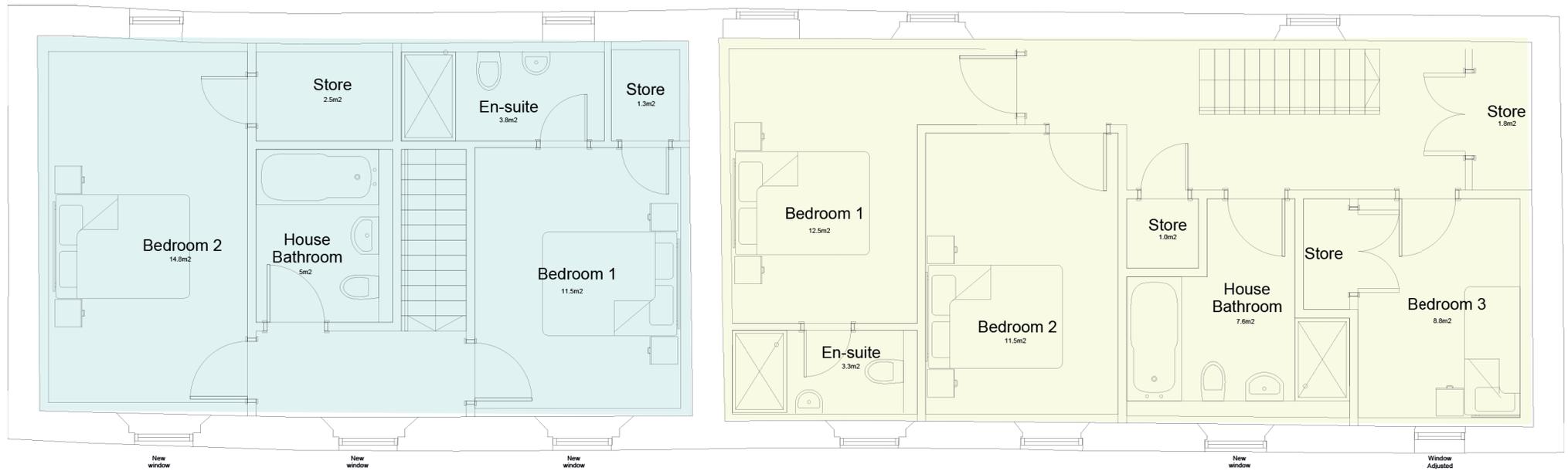
103.7 m<sup>2</sup>

121.7 m<sup>2</sup> including garage



## Plot 2 & 3 - Plans

First Floor



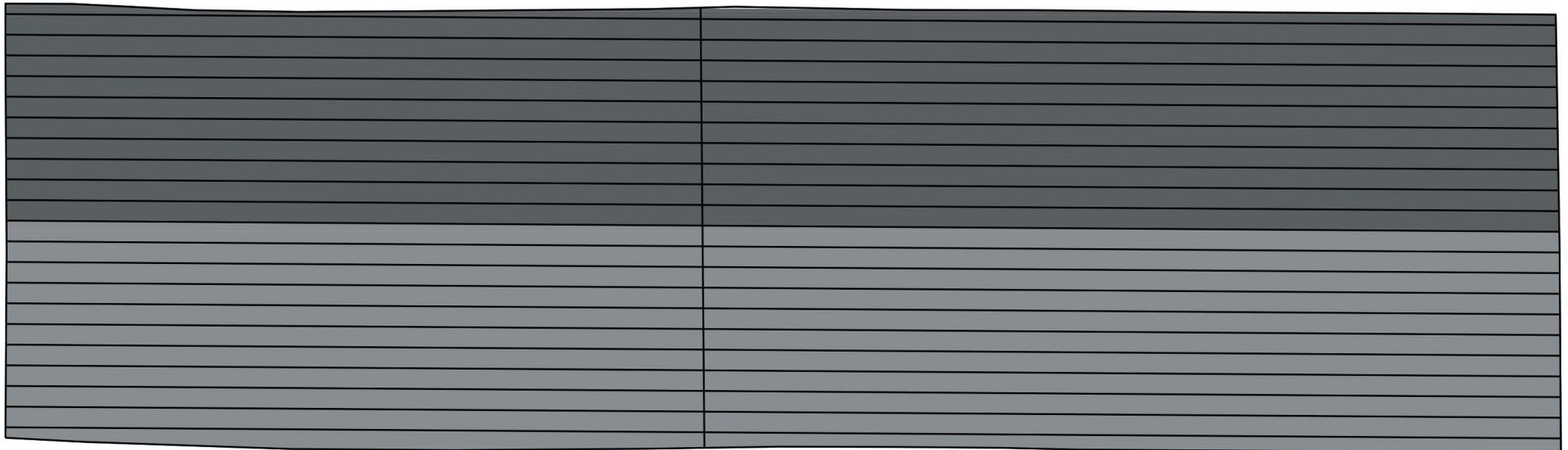
Plot 3

Plot 2

## Plot 2 & 3 - Plans

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Roof



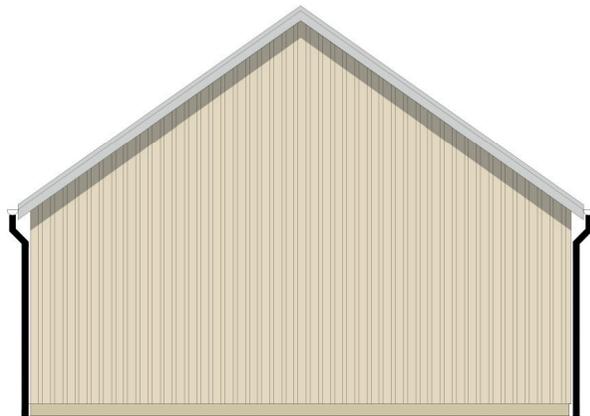
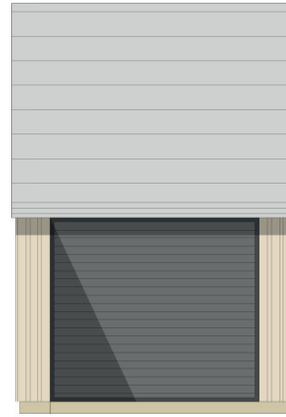
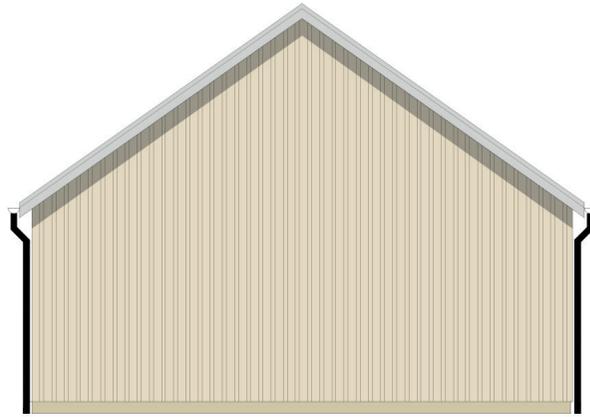
Plot 3

Plot 2

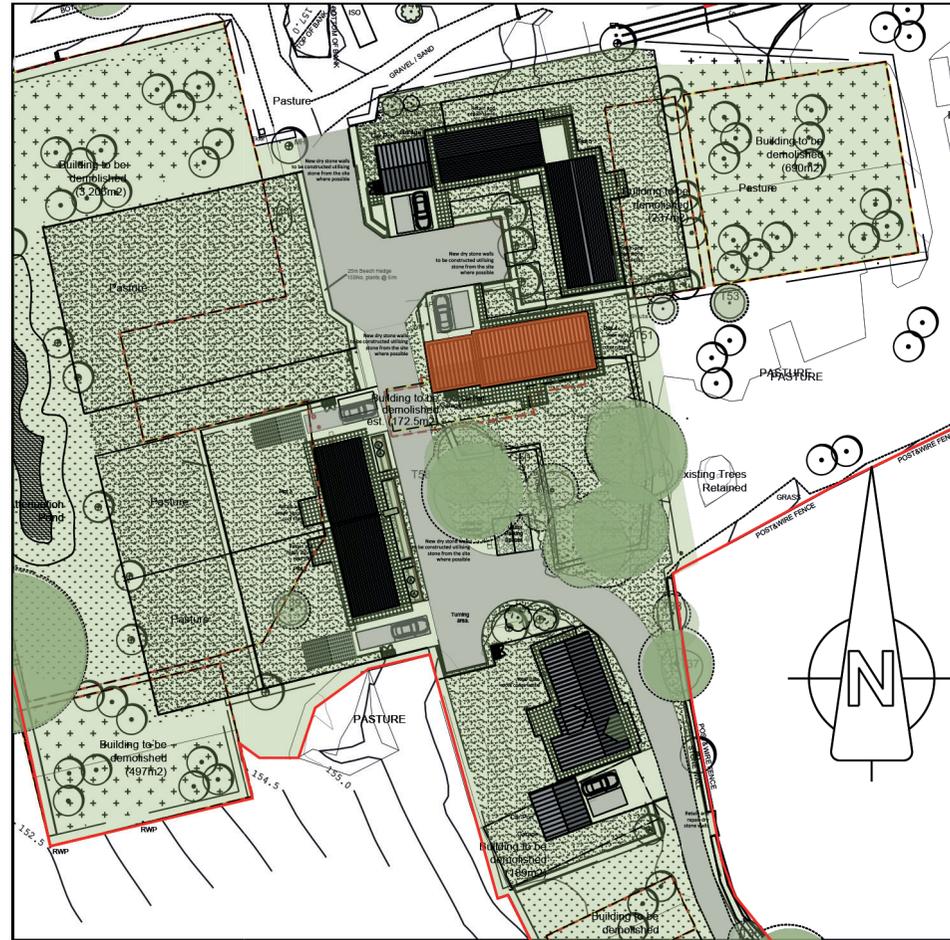
## Plot 2 & 3 - Plans

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Garage



# Plot 4 - Location



## Plot 4 - Elevation

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### Proposed Finishes

#### Walls

- Natural timber
- Existing stone re-used from around the site

#### Roof

- Slate roof
- Black bargeboards fascias and soffits
- Slate tiles

#### Windows and Doors

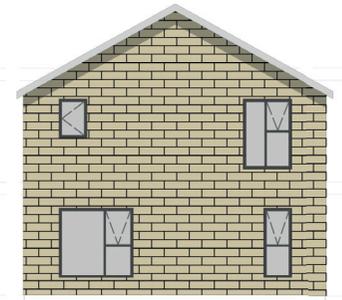
- Double glazed windows and doors (grey)
- Pressed metal surround to feature window

#### Gutters and Downpipes

- Black uPVC gutters with black downpipes



Rear Elevation 1:100



Side Elevation 1:100



Front Elevation 1:100



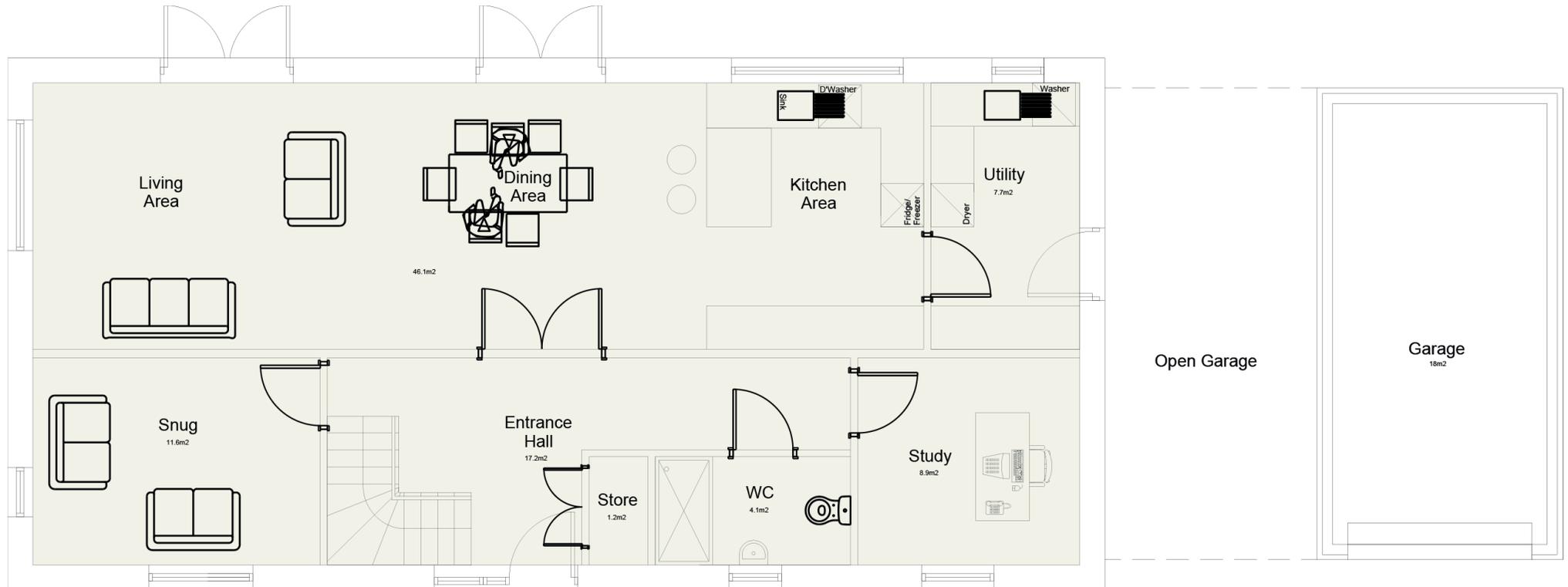
Side Elevation 1:100

## Plot 4 - Plans

Ground Floor

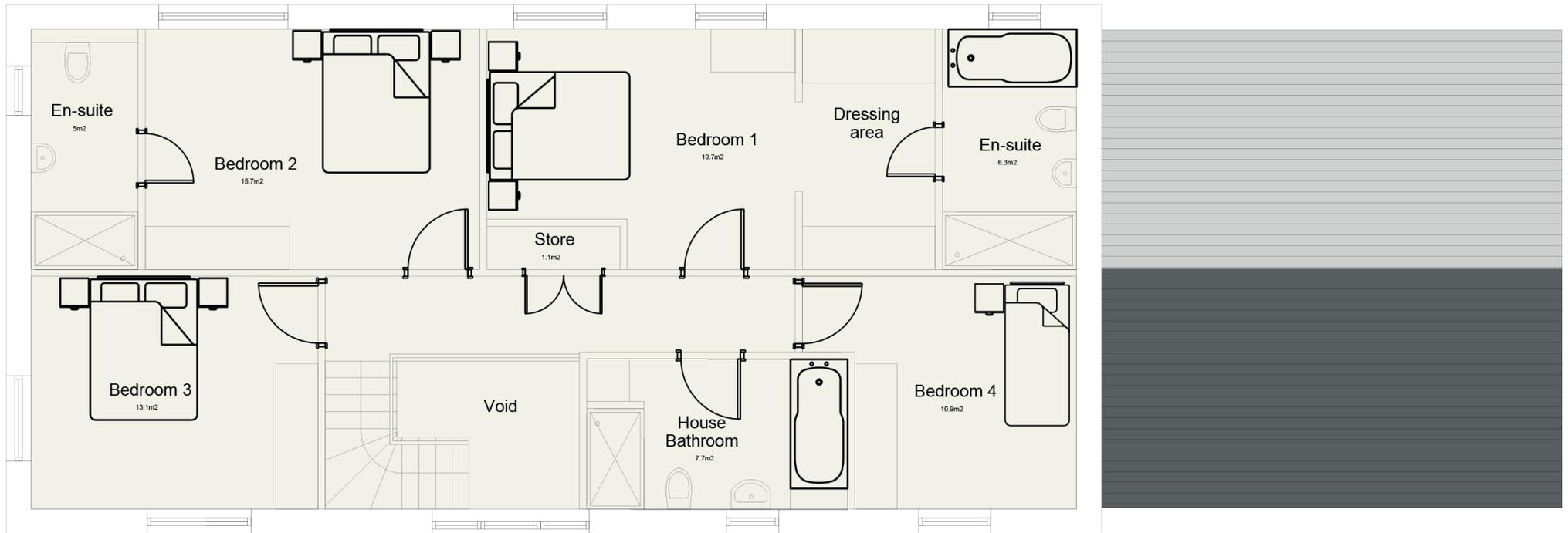
196.3 m<sup>2</sup>

214.3 m<sup>2</sup> including garage

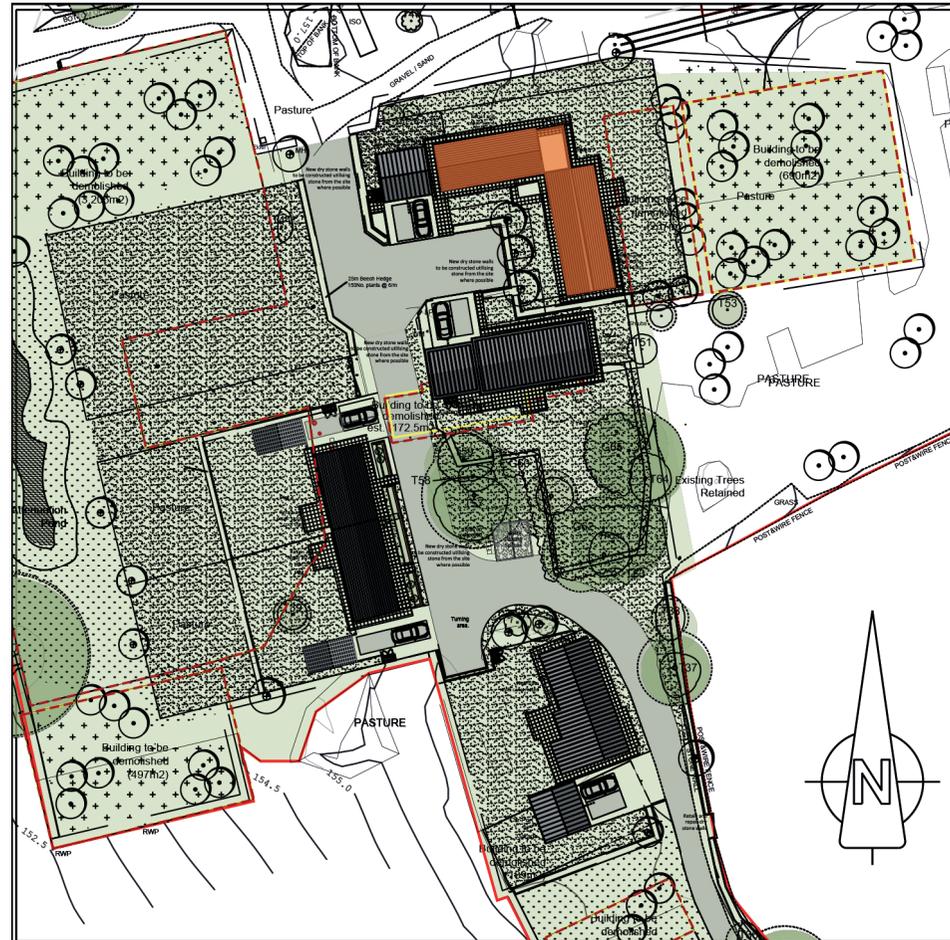


## Plot 4 - Plans

First Floor



## Plot 5 - Location



## Plot 5 - Elevation

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### Proposed Finishes

#### Walls

- Existing natural stone
- Natural stained timber

#### Roof

- Slate tiles
- Black bargeboards fascias and soffits
- Slate tiles (garage)

#### Windows and Doors

- Double glazed windows and doors (grey) with existing stone cills and heads
- Pressed metal surround to feature window

#### Gutters and Downpipes

- Black uPVC gutters with black downpipes



Front Elevation - South West Facing 1:100

Side Elevation - South East Facing 1:100



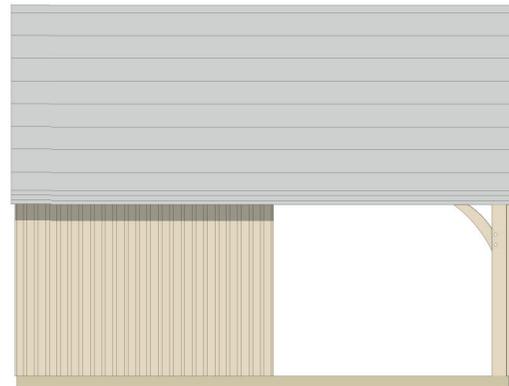
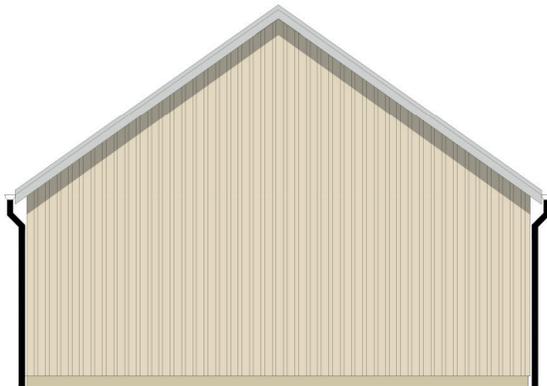
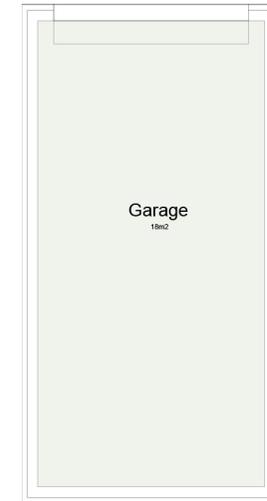
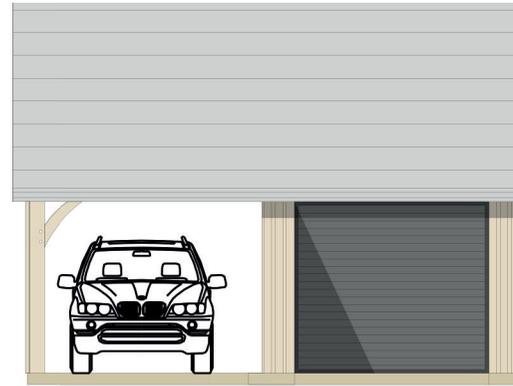
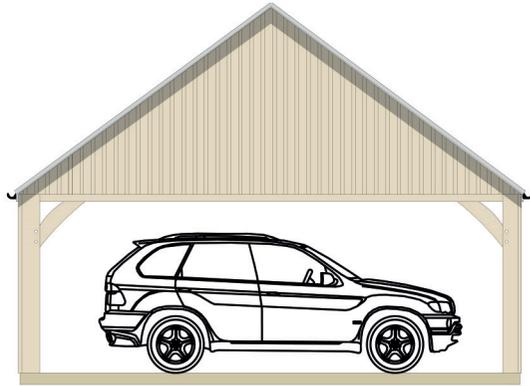
Rear Elevation - North East Facing 1:100

Side Elevation - North West Facing 1:100

## Plot 5 - Elevation

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Garage



## Plot 5 - Plans

Ground Floor

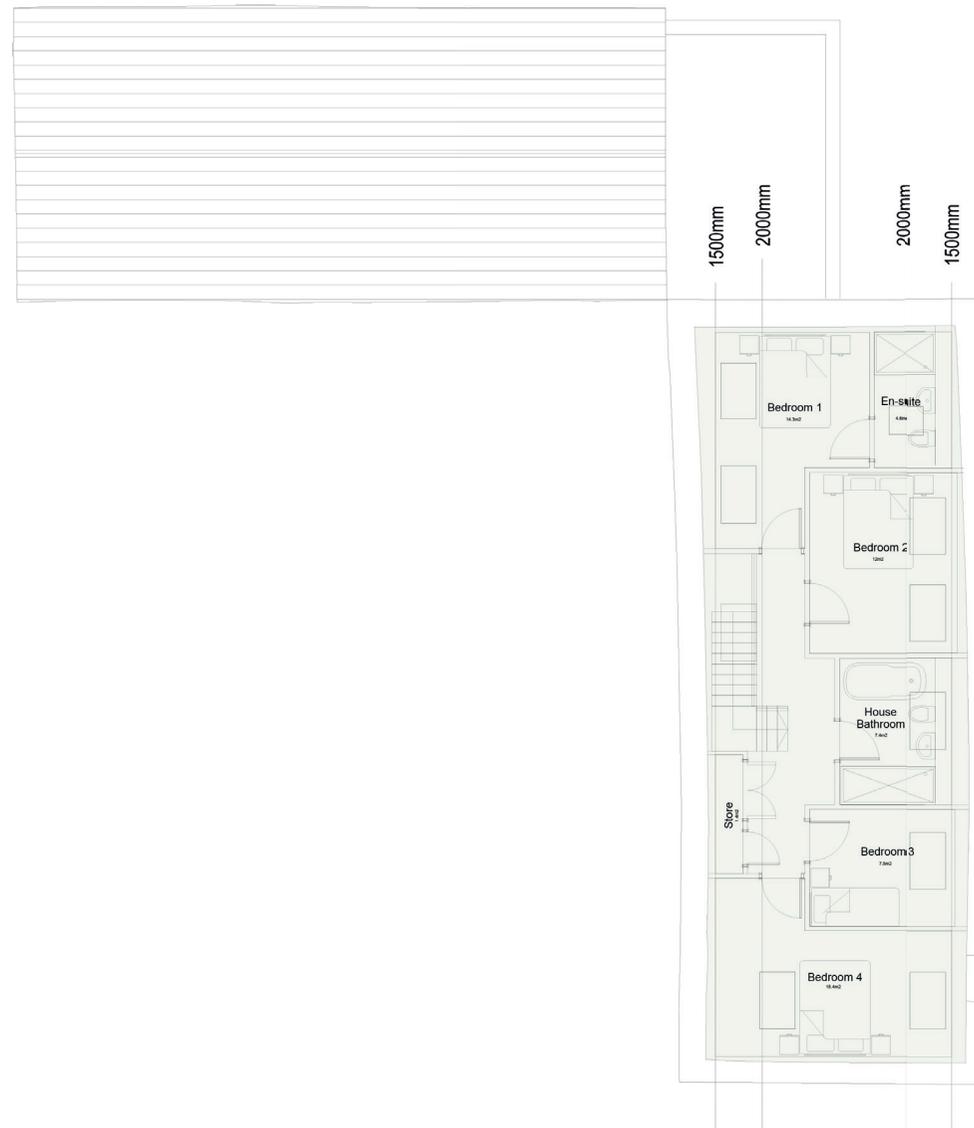
273.1 m<sup>2</sup>

273.1 m<sup>2</sup> including garage



## Plot 5 - Plans

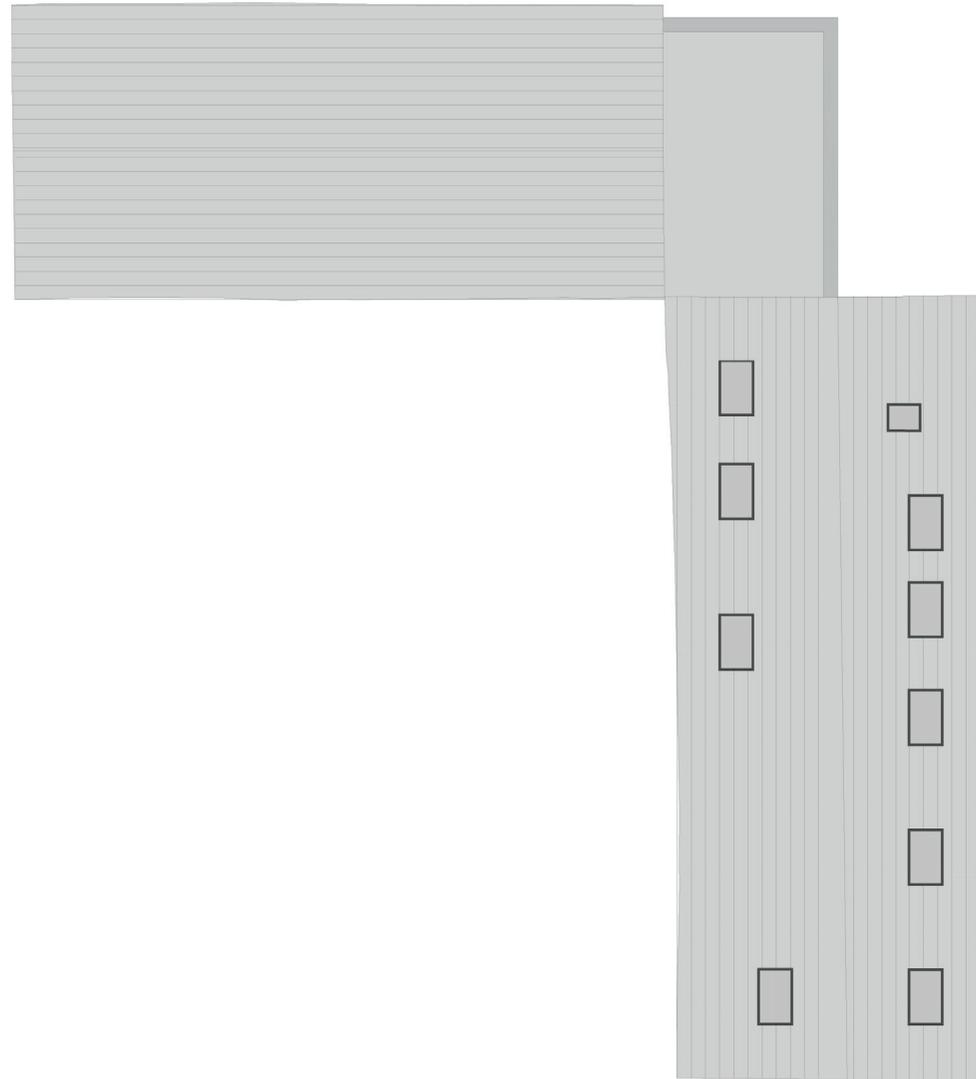
First Floor



## Plot 5 - Plans

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Roof



# Decision Notice



## Decision Notice

Town and Country Planning Act 1990

### Grant of Full Planning Permission

Applicant: Estate Of KR Crabtree And JR Crabtree  
 Application Number: 22/02741/FU  
 Agent: Johnson Mowat Planning Ltd  
 Coronet House  
 Queen Street  
 Leeds  
 LS1 2TW  
 Date Accepted: 14 April 2022  
 Date of Decision: 14 December 2022

**Proposed Development At:** Breary Grange Farm Kings Road Bramhope Leeds LS16 9JN

**Proposal:** Demolition of agricultural buildings and change of use of four agricultural buildings to form four dwellings, one replacement dwelling and associated landscaping works

#### Plans and specifications that this decision is based on:

Plan Type	Plan Reference	Received
Site Location Plan/Red Line/OS Plan	6479-P01F	12.09.2022
Drainage Plan	AMA-20790-D-500-P3	08.12.2022
Drainage Plan	AMA-20790-D-501-P1	30.09.2022
Drainage Plan	AMA-20790-D-502-P1	30.09.2022
Block Plan/Layout Plan	6479-P05I	12.09.2022
Proposed Elevations and Floor Plans	6479-P06B	12.09.2022
Proposed Elevations and Floor Plans	6479-P07D	12.09.2022
Proposed Elevations and Floor Plans	6479-P08C	12.09.2022
Proposed Elevations and Floor Plans	6479-P09C	12.09.2022
Proposed Elevations and Floor Plans	6479-P10B	12.09.2022
Sections/Cross Sections	6479-P11C	12.09.2022
Block Plan/Layout Plan	6479-P12B	12.09.2022
Other	6479-P13B	12.09.2022
Landscape Scheme	DW01E	12.09.2022
Landscape Scheme	DW01E - Planting Specificati	12.09.2022
Other	AMA/20790/ATR002	17.06.2022
Other	AMA/20790/ATR003	17.06.2022

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**David Feeney**  
 Chief Planning Officer



## Decision Notice

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### Grant of Full Planning Permission

Other AMA/20790/SK005 17.06.2022  
 Other AMA/20790/SK001 14.04.2022  
 Other AMA/20790/SK002 14.04.2022  
 Other AMA/20790/SK003 14.04.2022  
 Other PROW01 31.10.2022

#### Full planning permission granted in accordance with the approved plans and specifications and subject to the condition(s) set out below:-

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans and Specifications above.

For the avoidance of doubt and in the interests of proper planning.

3) Construction of external walls and roofs to any building subject of this permission shall not take place until details and samples of all external walling and roofing materials have been submitted to and approved in writing by the Local Planning Authority. Samples shall be made available on site prior to the commencement of building works, for inspection by the Local Planning Authority which shall be notified in writing of their availability. The building works shall be constructed from the materials thereby approved.

In the interests of visual amenity.

4) Any necessary making good of the existing brickwork/stonework shall be carried out to match exactly that existing in terms of colour, texture, profile, dimension, scale, bonding and/or coursing, and colour and type of mortar jointing.

To preserve the character of the building in the interests of visual amenity.

5) Construction of hard surfaced areas shall not take place until details and samples of all surfacing materials to such areas have been submitted to and approved in writing by

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**David Feeney**  
 Chief Planning Officer



## Decision Notice

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### Grant of Full Planning Permission

the Local Planning Authority. The surfacing works shall be constructed from the approved materials.  
 In the interests of visual amenity.

6) The land/buildings shall not be occupied until all walls and/or fences shown on the approved plans have been erected in accordance with the approved details. They shall thereafter be retained.

In the interests of residential amenity.  
 In the interests of visual amenity.

7) Development shall not be occupied until all areas shown on the approved plans to be used by vehicles, including roads, footpaths, cycle tracks, loading and servicing areas and vehicle parking space have been fully laid out, surfaced and drained such that loose materials and surface water does not discharge or transfer onto the highway. These areas shall not be used for any other purpose thereafter.

To ensure the free and safe use of the highway.

8) Development shall not commence until a statement of construction practice has been submitted to and approved in writing by the Local Planning Authority, the statement of construction practice shall include full details of:

a) the construction vehicle routing, means of access, location of site compound, storage and parking (including workforce parking), means of loading and unloading of all contractors' plant, equipment, materials and vehicles and associated traffic management measures.

b) methods to prevent mud, grit and dirt being carried on to the public highway from the development hereby approved.

c) measures to control the emissions of dust and dirt during construction.

d) how the statement of construction practice will be made publicly available by the developer.

The approved details shall be implemented at the commencement of works on site and shall thereafter be retained and employed until completion of the works on site. The Statement on Construction practice shall be made publicly available for the lifetime of the construction phase of the development in accordance with the approved method of publicity.

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**David Feeney**  
 Chief Planning Officer



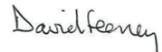
## Decision Notice

Town and Country Planning Act 1990

### Grant of Full Planning Permission

The carrying out of the development could result in significant harm to the amenities of local residents and highway safety, and accordingly details of construction practice is required to be agreed prior to commencement of works in order to protect such interests.

- 9) Prior to occupation of the development, the off-site highway works as shown on plan AMA/20790/SK002 comprising an improved vehicle access and a link between the grasscrete path and the footway at location on Kings Road shall be fully delivered.
- To ensure the free and safe use of the highway.
- 10) The access(es) hereby approved shall not be brought into use until works have been undertaken to provide the sightlines / visibility splays shown on the approved plan ref AMA/20790/SK002 to an adoptable standard. These sightlines / visibility splays shall be retained clear of all obstruction to visibility greater than 1m in height above the adjoining carriageway for the lifetime of the development.
- To ensure the free and safe use of the highway.
- 11) Development shall not be occupied until Electric Vehicle Charging Points have been provided in accordance with a scheme that shall have been submitted to and approved in writing by the Local Planning Authority. The approved facilities shall thereafter be retained for the lifetime of the development.
- In the interest of promoting low carbon transport.
- 12) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any provision in any statutory instrument revoking or re-enacting that Order, the garages hereby approved shall be kept available and used as garages for the parking of motor cars for the benefit of the occupant of the dwelling for the lifetime of the development.
- To ensure the free and safe use of the highway.
- 13) The development hereby permitted shall not be occupied until details for the provision of bin stores (including siting, materials and means of enclosure) and (where applicable) storage of wastes and access for their collection shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented in full before the use commences and shall be retained thereafter for the lifetime of the development.

  
David Feeney  
Chief Planning Officer



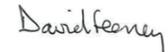
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To ensure adequate measures for the storage and collection of wastes are put in place. In the absence of appropriate measures residential amenity could be adversely affected.

- 14) a) No works shall commence (including any demolition, site clearance, ground works or drainage etc.) until all existing trees, hedges and vegetation shown to be retained on the approved plans are fully safeguarded by protective fencing and ground protection in accordance with approved plans and specifications and the provisions of British Standard 5837 (2012) Trees in relation to design, demolition and construction, unless otherwise agreed in writing by the Local Planning Authority. NOTE: Only the BS5837 default barrier with the scaffold framework shall be employed. Such measures shall be retained for the full duration of any demolition and/or approved works.
- b) No works or development shall commence until a written Arboricultural Method Statement (AMS) in accordance with BS5837 for a tree care plan has been submitted to and approved in writing by the Local Planning Authority. Works shall then be carried out in accordance with the approved method statement. The AMS shall include a Site Supervision Schedule i.e. a list of site visits and the operational specifics related to trees for the full construction duration. The AMS shall include for reporting back to the Local Planning Authority immediately after each site supervision intervention (written & photographic).  
NOTE - this item cannot be discharged until the last supervision visit report is submitted.
- c) Evidence shall be submitted, such as a written appointment (including site specifics), that confirms that a qualified Arboriculturist/competent person has been appointed to carry out this Arboricultural monitoring/supervision.
- d) Seven days written notice shall be given to the Local Planning Authority that the protection measures are in place prior to demolition/ approved works commencing, to allow inspection and approval of the protection measures as implemented on site.  
NOTE - this item cannot be discharged until post inspection approval is confirmed.
- e) No equipment, machinery or materials shall be used, stored or burnt within any protected area. Ground levels within these areas shall not be altered, nor any excavations undertaken including the provision of any underground services/drainage, without the prior written approval of the Local Planning Authority.
- To ensure the protection and preservation of trees and vegetation during construction works, in accordance with Leeds City Council policies.

  
David Feeney  
Chief Planning Officer



## Decision Notice

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### Grant of Full Planning Permission

- 15) The development hereby permitted shall not be occupied until full details of both hard and soft landscape works, including an implementation programme, have been submitted to and approved in writing by the Local Planning Authority. Hard landscape works shall include
- (a) proposed finished levels and/or contours,
  - (b) boundary details, means of enclosure and retaining structures,
  - (c) car parking layouts,
  - (d) other vehicle and pedestrian access and circulation areas,
  - (e) hard surfacing areas,
  - (f) minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting etc.),
- Soft landscape works shall include
- (h) planting plans
  - (i) written specifications (including soil depths, cultivation and other operations associated with plant and grass establishment) and
  - (j) schedules of plants noting species, planting sizes and proposed numbers/densities.

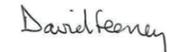
All hard and soft landscaping works shall be carried out in accordance with the approved details, approved implementation programme and British Standard BS 4428:1989 Code of Practice for General Landscape Operations. The developer shall complete the approved landscaping works and confirm this in writing to the Local Planning Authority prior to the date agreed in the implementation programme.

To ensure the provision and establishment of acceptable landscaping.

- 16) If within a period of five years from the date of the planting of any tree/hedge/shrub that tree/hedge/shrub, or any replacement, is removed, uprooted or destroyed or dies, or becomes, in the opinion of the Local Planning Authority, seriously damaged or defective, another tree/hedge/shrub of the same species and size as that originally planted shall be planted in the same location as soon as reasonably possible and no later than the first available planting season, unless otherwise agreed in writing by the Local Planning Authority.

To ensure maintenance of a healthy landscape scheme.

- 17) Prior to the commencement of development, a Construction Environmental Management Plan (CEMP Biodiversity) shall be submitted to and approved in writing by the LPA. The CEMP (Biodiversity) shall include the following: a) Risk assessment of potentially damaging construction activities b) Identification of biodiversity protection zones c) Measures to avoid or reduce impacts during construction d) Location and timings of sensitive works to avoid harm to biodiversity features, including nesting birds and hedgehogs. e) The times during construction when specialist ecologists need to be

  
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Chief Planning Officer



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proposed on site to oversee works f) The role of a responsible person (Ecological Clerk of Works) and lines of communication g) Use of protective fences, exclusion barriers and warning signs The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the LPA.

To ensure the protection of existing biodiversity features in accordance with Core Strategy Policy G8, the NPPF, and BS 42020:2013

- 18) Prior to the commencement of development, a Biodiversity Enhancement & Management Plan (BEMP) shall be submitted to and approved in writing by the LPA. The Plan shall deliver a minimum of 4.88 Biodiversity Habitat Units and 3.55 Biodiversity Hedgerow Units on land identified in the Biodiversity Metric Spreadsheet Version 3.0 referred to in Appendix A of the Biodiversity Impact Assessment Report Reference Number: FE56/BIA01 dated March 2022 and include details of the following: a) Description and evaluation of features to be managed b) Extent and location/area of proposed habitats and Biodiversity Units on scaled maps and plans c) Ecological trends and constraints on site that might influence management d) Aims and Objectives of management to include Target Biodiversity Units and Condition Criteria e) Appropriate management Actions for achieving Aims and Objectives f) An annual work programme (to cover an initial 5 year period) g) Details and a proof of the Residents information pack issued to all new homeowners explaining biodiversity measures incorporated into the design. h) Details and a proof of the meadow interpretation panel/s and a plan showing its/their location on site. i) Details of the specialist ecological management body or organisation responsible for implementation of the Plan j) How the Plan is to be funded k) For each of the first 5 years of the Plan, a progress report sent to the LPA reporting on progress of the annual work programme and confirmation of required Actions for the next 12 month period l) The Plan will be reviewed and updated every 5 years and implemented for perpetuity The Plan shall also set out how contingencies and/or remedial action will be identified, agreed and implemented when necessary. The approved Plan will be implemented in accordance with the approved details.
- 19) Prior to occupation of the first dwelling a Biodiversity Monitoring Programme & Monitoring Report carried out by an appropriately qualified ecological consultant shall be submitted to and agreed by the LPA. It shall include the first Monitoring Report and specify the frequency and timing of subsequent Monitoring Reports to cover a minimum 30 year period to be submitted to the LPA. The Monitoring Report will include the following: a) Confirmation of the number of Biodiversity Units present based on a survey at an appropriate time of year and how this compares to the 4.88 Habitat Units

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and 3.55 Hedgerow Units identified for Retention and Creation in the Biodiversity Metric Spreadsheet Version 3.0 referred to in Appendix A of the Biodiversity Impact Assessment Report Reference Number: FE56/BIA01 dated March 2022 b) Where the Target Condition is not yet met provide an assessment of time to Target Condition for each habitat and any changes to management that are required c) How the monitoring is funded and the specialist ecological body responsible d) Confirmation by photographs that all integral bird nesting and bat roosting features are in place as approved. e) Confirmation by photographs that all integral barn owl nesting and roosting features are in place as approved f) Confirmation by photographs that gaps have been incorporated into solid fencing to permit hedgehog access within garden spaces. Subsequent Monitoring Reports will be submitted to the LPA at time-scales stated in the Monitoring Programme and where remedial measures or changes in management are required these will be addressed in the subsequent Biodiversity Enhancement & Management Plan (BEMP) annual work programmes.

To ensure biodiversity enhancements and Biodiversity Units are delivered as agreed in the approved BEMP for perpetuity.

- 20) No works shall commence to buildings B4, B5 and B11 as shown on Figure 3 Nocturnal Survey Summary, in Ecological Impact Assessment Report Reference Number: FE56/EclA01 (April 2022), unless the LPA has been provided with either: a) The Mitigation Method Statement and licence issued by Natural England pursuant to Regulation 53 of the Conservation of Habitats and Species Regulations 2010 authorising the specified activity to go ahead; or b) a statement in writing from an appropriately qualified ecologist to the effect that it does not consider that the specified activity will require a licence. To safeguard a protected species (Bats) in accordance with the Wildlife & Countryside Act 1981 (as amended) and BS 42020:2013.
- 21) Prior to the commencement of development, a Plan shall be submitted to and approved in writing by the LPA of: integral bat roosting and bird nesting features (for species such as House Sparrow and Swift) within buildings. The agreed Plan shall show the number, specification of the bird nesting and bat roosting features and where they will be located, together with a timetable for implementation and commitment to being installed under the instruction of an appropriately qualified bat consultant. All approved features shall be installed prior to first occupation of the dwelling on which they are located and retained thereafter. To maintain and enhance biodiversity in accordance with Core Strategy Policy G9, NPPF, and BS 42020:2013.
- 22) Prior to commencement of development, a Mitigation and Enhancement Scheme for Barn Owls shall be submitted to and approved in writing by the LPA. The agreed

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Scheme should show: a) The number and location of temporary roosting provision for barn owls prior to and during proposed demolition of buildings b) Location and timings of sensitive works to avoid harm to Barn Owls c) The times during construction when specialist ecologists need to be present on site to oversee works d) The role of a responsible person (Ecological Clerk of Works) and lines of communication e) Use of protective fences, exclusion barriers and warning signs f) The number and specification of integral and other barn owl nesting features and where they will be located, together with a timetable for implementation and a commitment to being installed under the instruction of an appropriately qualified ecological consultant. g) The location of habitat created for barn owl hunting and details of its ongoing management. h) Details of planned post development maintenance and monitoring of new roosting/nesting provision.

To safeguard a protected species (Barn Owls) in accordance with the Wildlife & Countryside Act 1981 (as amended) and to maintain and enhance biodiversity in accordance with Core Strategy Policy G9, NPPF and BS42020:2013

- 23) Prior to the commencement of development, a Method Statement for the control and eradication of Cotoneaster and Himalayan Balsam (hereafter referred to as the Target Species) shall be submitted to and approved in writing by the LPA. The Method Statement will include post-treatment monitoring of the site to ensure a continuous 12-month period of time occurs where none of the Target Species is identified growing on the whole site, if any Target Species is identified as growing on-site during the 12-month monitoring period then treatment shall resume and continue until a continuous 12-month period with no Target Species occurs. The agreed Method Statement shall thereafter be implemented in full.
- 24) Prior to occupation of the first dwelling, improvements to Leeds Public Footpath No.12 shall be undertaken as shown on drawing PROW01 and thereafter retained for the lifetime of the development.

To control the spread of non-native invasive plant species in accordance with the Wildlife & Countryside Act 1981 (as amended) and BS 42020:2013.

In order to secure improvements to the Public Right of Way crossing the site.

For information:-

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Chief Planning Officer

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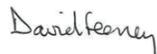
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- 1) The Council engages with all applicants in a positive and proactive way through specific pre-application enquiries and the detailed advice available on the Council's website and further discussion where appropriate to produce an acceptable development. For this particular application, positive discussions took place which resulted in further information being submitted to allow the application to be approved.
- 2) In relation to Condition (9) of this permission, the applicant must enter an agreement with the Council under Section 278 of the Highways Act 1980. The applicant is advised to make early contact with the Highway and Transportation Service by emailing the details to [S278Agreements@Leeds.gov.uk](mailto:S278Agreements@Leeds.gov.uk). Further information is available on the council's website at <https://www.leeds.gov.uk/parking-roads-and-travel/licences-and-permits>.
- 3) In order to discharge condition (13) of this permission, it is necessary to obtain separate approval from the Waste Management department in relation to refuse storage details. The applicant is advised to make early contact with [Bin.Deliveries@leeds.gov.uk](mailto:Bin.Deliveries@leeds.gov.uk) prior to submission of condition discharge application.

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In respect of housing development, the applicant's attention is drawn to part Q1 of the 2010 Building Regulations and Approved Document Q1 (Unauthorised Access) 2015. Specifically that the standards for doors and windows (including locks and other hardware) shall be sufficiently robust and capable of resisting physical attack by a burglar, so as to include euro 'anti-snap' locks or equivalent standard.

Applicants are requested to remove any site notices related to this application from outside the property to which the application relates.

#### Important information about Your Planning Permission

#### **Town and Country Planning (Development Management Procedure) (England) Order 2015**

This decision notice only relates to the grant of planning permission. It does not give any approval or consent which may be needed under any legislation, enactment, bye-laws, order or regulation other than the Town and Country Planning Act 1990 as amended. You may need other approvals, consents or licenses for the development eg building regulations approval.

This permission is granted in strict accordance with the approved plans. It should be noted however that:

- (a) A variation from the approved plans following commencement of the development is likely to constitute unauthorised development and may be liable to enforcement action.
- (b) Variation to the approved plans will require the submission of a new planning application.

This planning permission is granted subject to conditions. Please read the conditions carefully and make sure that you understand what is required to comply with them. It is the responsibility of the owner(s) and the person(s) implementing the development to ensure that the approved plans and these conditions are complied with throughout the development and beyond. Failure to comply with any of the conditions may result in enforcement action.

Conditions which require work to be carried out or details to be approved prior to commencement are very important and are called '**conditions precedent**'.

This means:

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- (a) If a condition precedent is not complied with, the whole of the development might be unauthorised and you may be liable to enforcement action.
- (b) Where a condition precedent is breached and the development is unauthorised, the only way to rectify this is by the submission of a new application to obtain a fresh planning permission.

A fee of £116 per request or £34 if the request relates to a householder application is payable to discharge condition(s). The request needs to identify the planning application number and the condition(s) concerned; a form is available from our website [www.leeds.gov.uk/planningforms](http://www.leeds.gov.uk/planningforms) titled Approval of Details application form.

#### **Appeals to the Secretary of State**

If you are aggrieved by the decision of your local planning authority to grant permission for the proposed development subject to conditions, then you can appeal to the Secretary of State under section 78 of the Town and Country Planning Act 1990 as amended.

If you want to appeal, you must do so within **six months** of the date of this notice, unless a valid Enforcement Notice exists for the same or substantially the same development. In this case the period for appeal is **28 days** from the date of this notice. You should use a form which you can obtain from [www.gov.uk/appeal-planning-decision](http://www.gov.uk/appeal-planning-decision) or by email from [enquiries@pins.gsi.gov.uk](mailto:enquiries@pins.gsi.gov.uk) or by phoning 0303 444 5000.

The Secretary of State can allow a longer period for giving notice of an appeal, but will not normally be prepared to do so unless there are special circumstances which excuse the delay in giving notice of appeal.

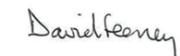
You must send one copy of the completed form to [planning\\_appeals@leeds.gov.uk](mailto:planning_appeals@leeds.gov.uk) or Appeals Administration, Planning Services, Leeds City Council, Merrion House, 110 Merrion Centre, Leeds, LS2 8BB as well as to the Planning Inspectorate at the address on the form.

If you intend to submit an appeal that you would like examined by inquiry, you should notify the Local Planning Authority ([planning\\_appeals@leeds.gov.uk](mailto:planning_appeals@leeds.gov.uk)) and the Planning Inspectorate ([inquiryappeals@planninginspectorate.gov.uk](mailto:inquiryappeals@planninginspectorate.gov.uk)) of your intention to appeal a minimum of 10 working days before the appeal is submitted to the Planning Inspectorate.

The notification form and further guidance is available at [www.gov.uk/government/publications/notification-of-intention-to-submit-an-appeal](http://www.gov.uk/government/publications/notification-of-intention-to-submit-an-appeal)

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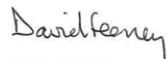
  
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Chief Planning Officer



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**Grant of Full Planning Permission**

  
**David Feeney**  
**Chief Planning Officer**

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**Harrogate 01423 523423**

simon.wright@carterjonas.co.uk

Regent House, 13-15 Albert Street, Harrogate, HG1 1JX

**carterjonas.co.uk**

#### **Important Information**

Our property particulars do not represent an offer or contract, or part of one. The information given is without responsibility on the part of the agents, seller(s) or lessor(s) and you should not rely on the information as being factually accurate about the property, its condition or its value. Neither Carter Jonas LLP nor anyone in its employment or acting on its behalf has authority to make any representation or warranty in relation to this property. We have not carried out a detailed survey, nor tested the services, appliances or fittings at the property. The images shown may only represent part of the property and are as they appeared at the time of being photographed. The areas, measurements and distances are approximate only. Any reference to alterations or use does not mean that any necessary planning permission, building regulation or other consent has been obtained. The VAT position relating to the property may change without notice.

Note: All plans not to scale